



**NATIONAL  
PROPERTY  
INSPECTIONS®**

*America's Premier Inspection Service*



# INSPECTION REPORT

Jason Rosh Baker TREC #23659  
National Property Inspections - Central Texas

2400 Jackson Street  
Client: Michael Jordan  
Agent: Matthew McLeod - The McLeod Company

Inspection Date: 2-8-2021  
Built: 2011 Size: 4992  
Weather: Cloudy 52 degrees Fahrenheit



**Jason Baker, TREC Lic. #23659**

Jason.Baker@npiinspect.com  
254-523-3857

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## PROPERTY INSPECTION REPORT

Prepared For: Michael Jordan  
(Name of Client)

Concerning: 2400 Jackson Street, Gary, TX 76633  
(Address or Other Identification of Inspected Property)

By: Jason Rosh Baker, TREC #23659 2-8-2021  
(Name and License Number of Inspector) (Date)

### PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

**THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS.** The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

**ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION.** When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000  
(<http://www.trec.texas.gov>).

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

#### TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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#### ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

### I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Slab Foundation  
Comments:

A.1. In the opinion of the inspector, the foundation is performing as intended at time of inspection. NOTE: slab foundation and crawl space visibility is limited by grade soil and floor coverings.

#### A.2. Exposed foundation support members.



Exposed foundation support members. Left side



Foundation

B. Grading and Drainage

Comments:

I=Inspected

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D=Deficient

I	NI	NP	D
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Grading



Grading

X			
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C. Roof Covering Materials

Type(s) of Roof Covering: Asphalt shingles

Viewed From: Ground. Drone

Comments:



Roof



Roof

I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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Roof



Roof



Roof



Roof

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I NI NP D



Roof



Roof



Roof



Roof

D. Roof Structure and Attics

Viewed From: Inside attic space, Percent visible 50%  
Approximate Average Depth of Insulation: Sprayed in foam insulation  
Comments:

I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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Attic



Attic



Attic



Attic

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Attic



Attic

X			X
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 E. Walls (Interior and Exterior)

Wall Materials: Portions of exterior walls are made of stone, brick, Interior walls are made of drywall  
Comments:

E.1. Exterior: sealant, mortar separation. Cosmetic. Function of age. MONITOR

E.2. Interior: material separation. Cosmetic.



Front



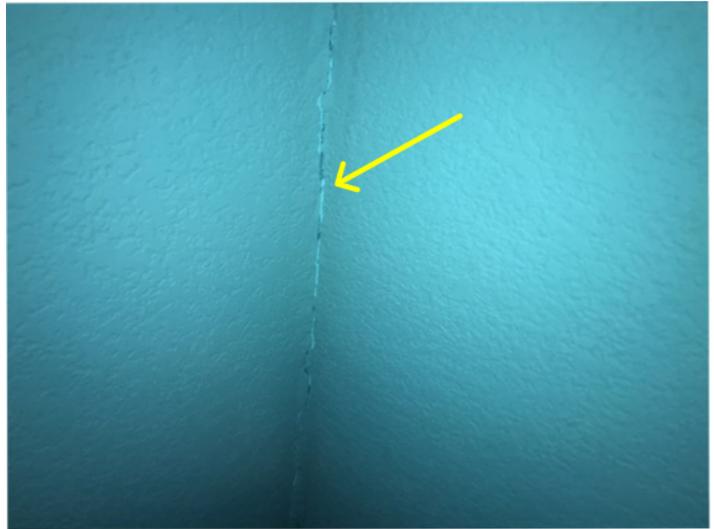
Garage door jambs

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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Dining room



Upstairs theater room corner



Exterior



Interior

F. Ceilings and Floors

Ceiling and Floor Materials: Ceiling is made of drywall, Floors coverings are made of tile, wood, carpet  
Comments:

F.1. Evidence of repairs.

**F.2. Cracked tiles. MINOR.**

I=Inspected

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NP=Not Present

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I	NI	NP	D
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Evidence of repairs. Garage ceiling



Master bathroom



Interior

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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G. Doors (Interior and Exterior)

Comments:

I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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Doors



Doors

X			X
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H. Windows

Window Types: Single-hung  
Comments:

H.1. Cracked glass. Rusted **lintels** on some windows, not painted.



Cracked glass. Garage



Rusted lintels on some windows, not painted. Left side

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Windows



Windows

I. Stairways (Interior and Exterior)

Comments:



Stairs

J. Fireplaces and Chimneys

Locations: Fireplace is located in porch area, living room

Types: Fireplace is prefabricated

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Chimney 1



Chimney 2



Porch fireplace



Living room fireplace

X			
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K. Porches, Balconies, Decks, and Carports

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Front porch



Back porch

## II. ELECTRICAL SYSTEMS

X			
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### A. Service Entrance and Panels

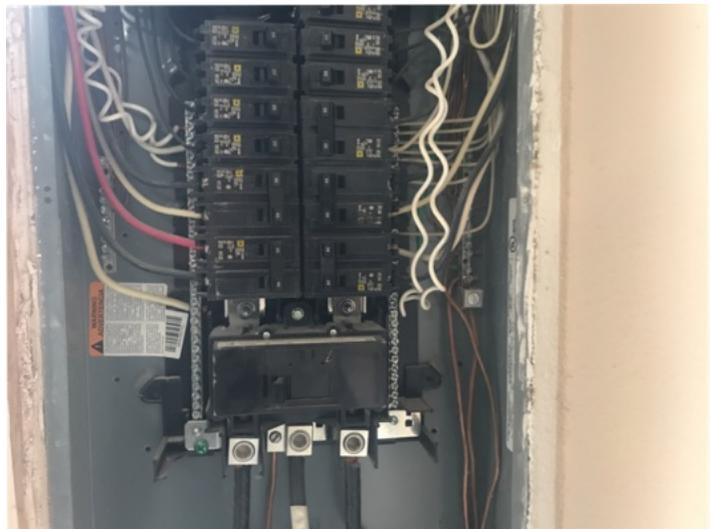
Panel Locations: Main electrical is located in garage., Sub panel is located in garage

Materials and Amp Rating: Copper wiring, 200 amp

Comments:



Main and subpanel



Main panel wires

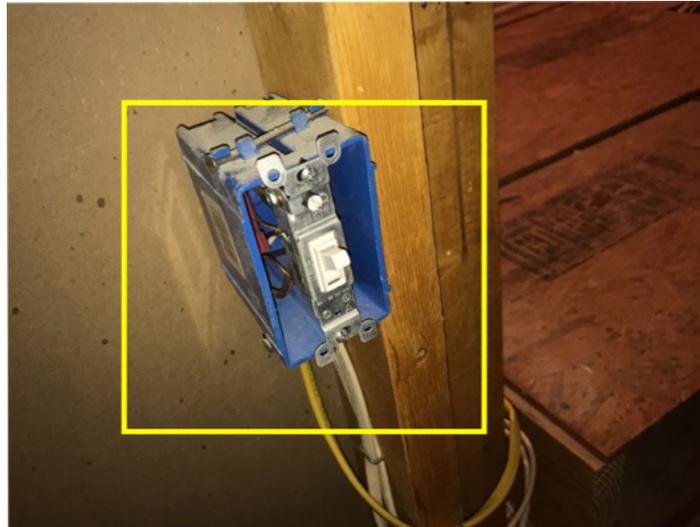
I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper wiring  
Comments:

B.1. Missing switch cover.



Missing switch cover. Attic

III. HVAC

A. Heating Equipment

Type of Systems: Heat pumps  
Energy Sources: Electric  
Comments:

A.1. Heating units performed as intended at the time of inspection.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



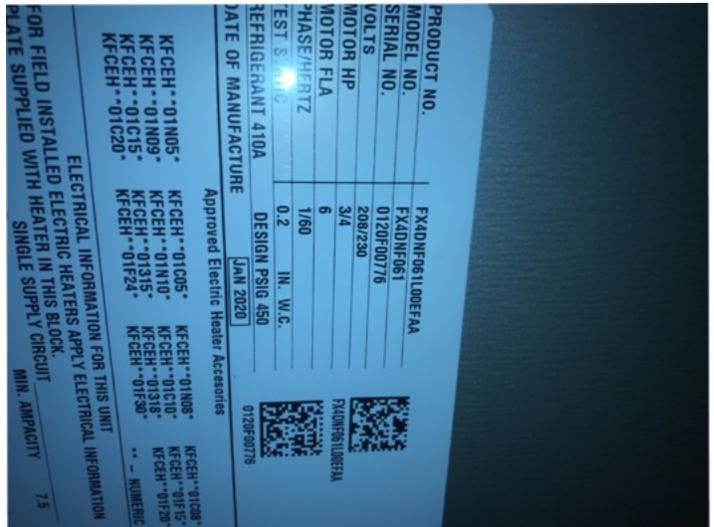
Furnace 1



Furnace 1 label



Furnace 2



Furnace 2 label

B. Cooling Equipment

Type of Systems: Split systems  
Comments:

B.1. Could not test cooling function, outside temperature too low. Recommend annual service.

B.2. Missing **dead front** cover.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Missing dead front cover. Condenser service disconnect



Condensers 1 and 2



C. Duct Systems, Chases, and Vents

Comments:

C.1. Could not fully inspect vents. Limited attic access and visibility.

I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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HVAC ducts

#### IV. PLUMBING SYSTEM

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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##### A. Plumbing Supply, Distribution System and Fixtures

Location of Water Meter: Front of home, Left side

Location of Main Water Supply Valve: Front of home, Left side

Comments:

A.1. Static Water Pressure Reading (PSI): 60



Water meter and shutoff



Water meter and shutoff

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Water pressure



Propane tank. Back yard

B. Drains, Wastes, and Vents

Comments:

B.1. Could not fully inspect vents due to accessibility constraints. May consider periodic sewer scan to validate drain integrity, laundry stand pipes and flows.

C. Water Heating Equipment

Energy Source: Water heaters are electric, located in garage, hall closet  
Capacity: 55 gallons. **IPR valve** was not jogged nor tested.  
Comments:



Water heater 1. Garage. 2011



Water heater 1 label

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



Water heater 2. 2011



Water heater 2 label

D. Hydro-Massage Therapy Equipment

Comments:

D.1. Spa did not operate at time of inspection. Does not appear to have power.



Spa did not operate at time of inspection. Does not appear to have power.



Pump and motor access

V. APPLIANCES

A. Dishwashers

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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B. Food Waste Disposers

Comments:



C. Range Hood and Exhaust Systems

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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D. Ranges, Cooktops, and Ovens

Comments:



E. Microwave Ovens

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I  NI  NP  D



F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:



Bathroom exhaust

G. Garage Door Operators

Door Type: 3 car garage with 2 segmented metal doors.  
Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Garage door

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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H. Dryer Exhaust Systems

Comments:



Dryer exhaust

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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I. Other

Materials:  
Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Ice maker



Wine chiller

### VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

Comments:

A.1. Wired for 12 zones. Only observed 1-3. Other zones are not installed, per seller.



12 zone system



Controller wires

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Sample zone

X			X
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B. Swimming Pools, Spas, Hot Tubs, and Equipment

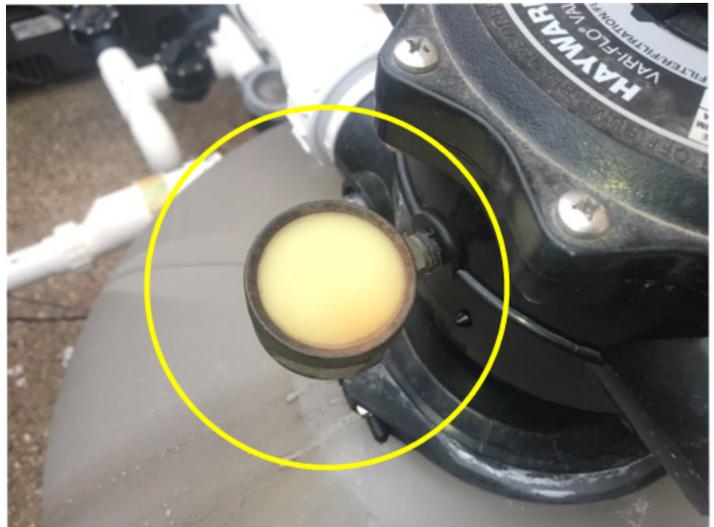
Comments:

B.1. Entry gates do not meet current safety standards: must open away from pool, be self-closing, self-latching. This is a safety issue. Filter gauge not legible. Missing valve handles. SOME debris present.

B.2. Some mineral deposits present. MONITOR. Mortar separation in some areas. Cosmetic.



Entry gates do not meet current safety standards: must open away from pool, be self-closing, self-latching



Filter gauge not legible

I=Inspected

NI=Not Inspected

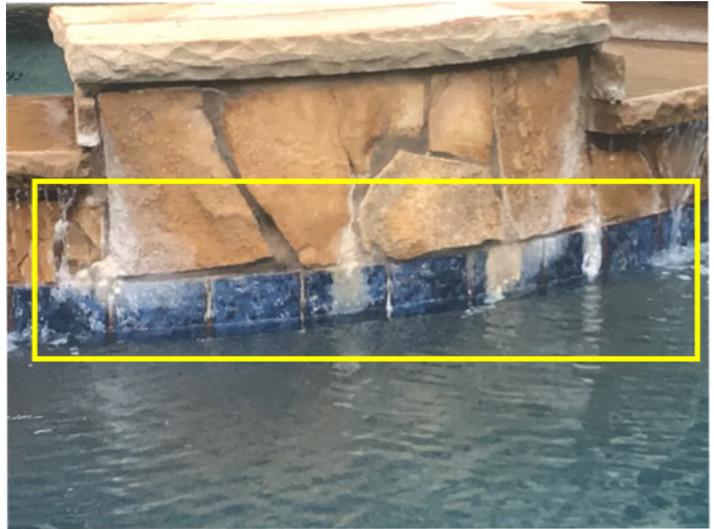
NP=Not Present

D=Deficient

I	NI	NP	D
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Missing valve handles



Some mineral deposits present, spa spill over.  
**MONITOR**



Mortar separation in some areas. Cosmetic.



Pool and fountain

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Pool pump equipment



Pool controller



Pool heater



Sand filter

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Spa



Pool lights



Skimmer



Drains

Report Summary

STRUCTURAL SYSTEMS		
Page 3 Item: A	Foundations	A.2. Exposed foundation support members.
Page 8 Item: E	Walls (Interior and Exterior)	E.1. Exterior: sealant, mortar separation. Cosmetic. Function of age. MONITOR E.2. Interior: material separation. Cosmetic.
Page 9 Item: F	Ceilings and Floors	F.2. Cracked tiles. MINOR.
Page 11 Item: H	Windows	H.1. Cracked glass. Rusted <b>intels</b> on some windows, not painted.
ELECTRICAL SYSTEMS		
Page 15 Item: B	Branch Circuits, Connected Devices, and Fixtures	B.1. Missing switch cover.
HVAC		
Page 16 Item: B	Cooling Equipment	B.2. Missing <b>dead front</b> cover.
PLUMBING SYSTEM		
Page 20 Item: D	Hydro-Massage Therapy Equipment	D.1. Spa did not operate at time of inspection. Does not appear to have power.
OPTIONAL SYSTEMS		
Page 26 Item: B	Swimming Pools, Spas, Hot Tubs, and Equipment	B.1. Entry gates do not meet current safety standards: must open away from pool, be self-closing, self-latching. This is a safety issue. Filter gauge not legible. Missing valve handles. SOME debris present. B.2. Some mineral deposits present. MONITOR. Mortar separation in some areas. Cosmetic.