



**Southshore/Manatee Property Inspections DBA
National Property Inspections**

Christian Brothers Automotive Corp, 128 Harbor Village Lane, Apollo Beach, FL, 33572



Friday, January 8, 2021
Inspector
Greg Suhre
941.254.1583
greg.suhre@npiinspect.com
HI12972

Inspection Date:
01/08/2021

Inspector: Greg Suhre
Inspector Phone: 941.254.1583

Email: greg.suhre@npiinspect.com
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Summary

This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the complete report.

1 LOTS & GROUNDS MISC ITEM

POOR

- There is damage to the wall that fronts the strip mall. Not sure who is responsible for it's upkeep; most likely the owner of the strip mall. The pictures are provided as a courtesy as the aesthetics of the front of the property is compromised.

2 COOLING

POOR

- Emergency catch pan under unit was full of water. Unit was not draining condensation properly. Water has overflow previously, saturating the floor, and flowing behind the drywall down into and around the supply vent above the office. The picture shows what appears to be microbial growth around the supply vent as well as ceiling stains and sagging. A qualified heating and cooling contractor should evaluate and repair as necessary.

P (POOR)

Below-average condition for the building system evaluated, taking into consideration factors of age and design. Immediate repair, significant work or replacement is anticipated to return the building system to a good or fair condition.

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GRADING / DRAINAGE

Recommend Repairs

G	F	P	NI	NA
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Positive Slope

Comments:

Property has been graded with a slope to encourage drainage away from the foundation. A culvert exists at the left side of the property.

- Drainage in swale in rear is covered with a substance and blocked in the bottom. Repair is recommended for proper drainage.



Grading / Drainage: Culver side of the entrance



Grading / Drainage: View from rear left of property shows grading away from foundation.



Grading / Drainage: Swale in rear



Grading / Drainage: Drainage in swale

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Grading / Drainage: Drainage in swale



Grading / Drainage: Blockage



Grading / Drainage: Front



Grading / Drainage: Sewer drain entrance

PARKING LOT

Monitor Condition

G	F	P	NI	NA
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Asphalt

Concrete

Cracks

Comments:

The asphalt driveway at the front of the property connects to the concrete parking lot with concrete curbing. The driveway and parking lot are in new condition with no signs of notable deterioration or settlement. There is minor cracking on the parking lot and curbing - monitor going forward. Lot markings are present and in good overall condition.

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Parking Lot: Minor cracking



Parking Lot: Minor cracking



Parking Lot: Minor curb cracking



Parking Lot: Minor curb cracking



Parking Lot: Minor cracking



Parking Lot: Minor curb cracking

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Parking Lot: Front parking lot/walkway between vehicles

FLATWORKS/SIDEWALKS

G	F	P	NI	NA
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Concrete

Comments:

Walkways are present at the front and sides of the building with no notable cracking or settlement. The remainder of the property is at grade with the parking lot and does not have separate walkways.



Flatworks/Sidewalks: Sidewalk to roadway



Flatworks/Sidewalks: East front sidewalk

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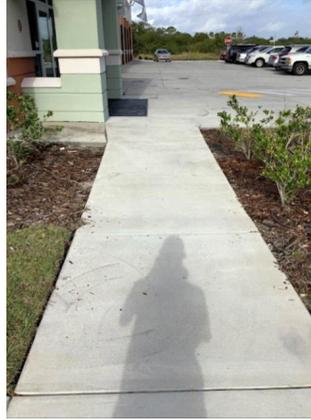


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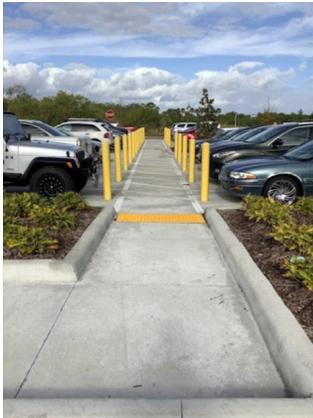
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Flatworks/Sidewalks: Front sidewalk



Flatworks/Sidewalks: Front sidewalk



Flatworks/Sidewalks: Walk between vehicles in front parking lot



Flatworks/Sidewalks: Sidewalk to storage room - west side

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Flatworks/Sidewalks: West sidewalk

FENCES / ENCLOSURES

G	F	P	NI	NA
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Metal

Comments:

Onsite trash enclosure present at the side of the building. Metal gates were in good condition and appeared to function properly and easily.



Fences / Enclosures: Dumpster enclosure



Fences / Enclosures: Dumpster enclosure

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RETAINING WALLS

G	F	P	NI	NA
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments:
No retaining walls are present.

LOTS & GROUNDS MISC ITEM

Recommend Repairs

G	F	P	NI	NA
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

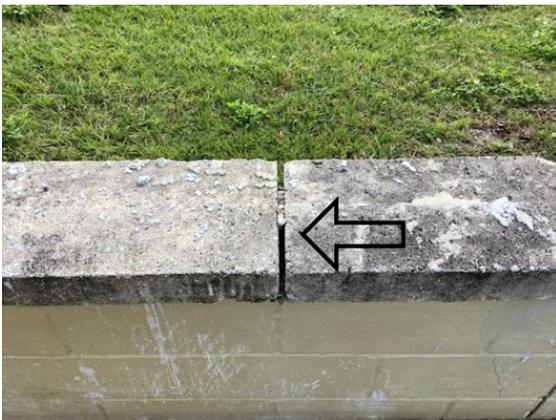
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Lots & Grounds Misc Item: Front wall of strip-mall



Lots & Grounds Misc Item: Front wall of strip-mall



Lots & Grounds Misc Item: Missing mortar



Lots & Grounds Misc Item: Cracking

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Lots & Grounds Misc Item: Deteriorated CMU



Lots & Grounds Misc Item: Damaged top



Lots & Grounds Misc Item: Damaged top and CMU



Lots & Grounds Misc Item: Damaged top and CMU

ROOFING

- Monitor Condition
- Recommend Repairs

G	F	P	NI	NA
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Age: 1 Month(s)

Design Life: 10-15 Year(s)

Layers: 1

100% Visible

Walked On

Membrane

Metal

Comments:

Roofing system over garage structure consists of TPO. Roofing system over the un-conditioned side storage room consists of rolled asphalt material. Roofing system over the office is metal. All roofing types are in fairly new condition without any observed cracks, blisters, or visible damage.

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- One or more of the roof vents are missing the screen or flapper. This can allow bugs, insects, small animals/rodents to enter the vents. It is recommended to have a certified roofing contractor install the necessary screen or flap.
- There is some deterioration to the parapet walls that could allow moisture/pest intrusion. It is recommended to have a certified roofing contractor repair as necessary.
- Appears there was previous repairs to the flat roof. Monitor going forward for any moisture intrusion.

Leaks not always detectable.



Roofing: TPO roofing over garage bays



Roofing: TPO roofing



Roofing: Heavy rains from prior night



Roofing: Possible previous repairs

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Roofing: Possible previous repairs



Roofing: Plumbing vent - missing screen



Roofing: Plumbing vent - missing screen



Roofing: Plumbing vent - missing screen

FLASHING/VALLEYS

G	F	P	NI	NA
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Metal

Comments:

Roof valleys appear to be properly installed.

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Flashing/Valleys: Typical flashing over garage area appears properly installed



Flashing/Valleys: Could not walk on metal roof



Flashing/Valleys: Could not walk on metal roof



Flashing/Valleys: Could not walk on metal roof



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Flashing/Valleys: Could not walk on metal roof

GUTTERS/DOWN SPOUTS

G	F	P	NI	NA
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

Roof over garage bays have a built-in drainage system. The roof over the side storage room and office do not have a gutter system and drains to the concrete surface below.



Gutters/Down Spouts: Drains off metal roof in rear



Gutters/Down Spouts: Rear downspouts

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Gutters/Down Spouts: Drains off storage roof



Gutters/Down Spouts: None over front bays



Gutters/Down Spouts: Drains off metal roof

EXTERIOR SURFACE

Recommend Repairs

Stucco

Cracked

Poor Earth / Siding Clearance

	G	F	P	NI	NA
SIDING/TRIM	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
EXTERIOR FAUCETS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
EXTERIOR ELECTRICAL OUTLETS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
EXTERIOR LIGHTING	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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Comments:

Exterior consists of stucco.

No exterior faucets were observed. Water access panels were present.

Exterior receptacles were installed in weather-resistant enclosures and GFCI protected.

Exterior lighting was provided by wall-mounted fixtures throughout the perimeter of the building. Lighting was not tested for functionality during the daytime inspection. No pole-mounted lights were installed in the parking lot areas.

- The dumpster enclosure door was striking the siding damaging it. Recommend rubber stopper or similar be installed to prevent further damage.
- The concrete parking lot surface near the front do not provide appropriate clearance below stucco siding. Over time, this lack of clearance could be conducive to moisture intrusion and damage to building materials.



Exterior Surface: East side



Exterior Surface: South side



Exterior Surface: No exterior faucets were observed. A water panel was located instead.



Exterior Surface: Wall damage from dumpster enclosure door

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Exterior Surface: Inadequate clearance observed between the siding and exterior surfaces at the front bay areas.



Exterior Surface: Pressure wash for mildew from drainage from metal roof. Also low clearance.



Exterior Surface: Exterior receptacle



Exterior Surface: Exterior receptacle

WINDOWS

G	F	P	NI	NA
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Metal

Comments:

Windows were only present in the front office building. Windows were in like-new condition and appeared to be properly installed.

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Windows: Typical window installation at front office.



Windows: Typical window installation at front office.



Windows: Typical interior of windows at front office.

EXTERIOR DOORS

G	F	P	NI	NA
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Metal

Comments:

Roll up doors are present at the garage bays. All doors were in the open position during the inspection. Exterior personnel doors are present at the front office building, either end of the garage, and at the side storage room.

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Exterior Doors: Front entrance door



Exterior Doors: Front entrance door from interior



Exterior Doors: Roll up doors installed at garage bays.



Exterior Doors: Typical roll up door.

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Exterior Doors: Typical roll up closed door.



Exterior Doors: Personnel door from garage to exterior



Exterior Doors: Personnel door from exterior to side storage room.



Exterior Doors: Personnel door from garage to exterior

FOUNDATION

Recommend Repairs

G	F	P	NI	NA
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Concrete

Slab

General Deterioration

Comments:

Typical minor cracking was observed in the vehicle bays.

- Foundation wall(s) have damage in rear that require repair to prevent water/pest entry.

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Foundation: Concrete slab foundation



Foundation: Concrete slab foundation



Foundation: Foundation damage



Foundation: Minor cracks in garage

Attic / Roof

Method of Inspection No Access / Limited 20 % Visible

ATTIC FRAMING/SHEATHING

G	F	P	NI	NA
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Plywood / Panel Board / OSB Rafters Trusses

Comments:

Main building structure consists of wooden framing with OSB sheathing. Rear storage room consists of wooden roof framing and plywood sheathing with concrete block walls. Fiberglass batt insulation was observed in attic spaces.

Leaks not always detectable.

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Attic Framing/Sheathing: Limited view - behind drywall



Attic Framing/Sheathing: Limited view - behind drywall



Attic Framing/Sheathing: Limited view - behind drywall



Attic Framing/Sheathing: Limited view - behind drywall



Attic Framing/Sheathing: Rear storage room structure.

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ATTIC VENTILATION

G	F	P	NI	NA
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Comments:

ATTIC INSULATION

G	F	P	NI	NA
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Blanket

Comments:

Interior Foundation

Foundation Type Slab On Grade

FLOOR/SLAB

G	F	P	NI	NA
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Concrete

Comments:

Tile flooring is present in the office building. The garage, rear storage area, and garage bathroom have concrete flooring.



Floor/Slab: Concrete garage floors.

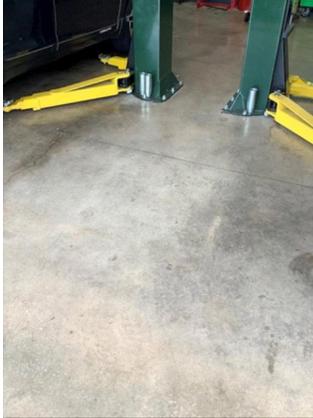


Floor/Slab: Concrete garage bathroom floors



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Floor/Slab: Concrete garage floors.



Floor/Slab: Tile office floors

ELECTRICAL

SERVICE SIZE (Main Panel)

120 / 240 Volt (Nominal) 600 AMP

	G	F	P	NI	NA
SERVICE <input checked="" type="checkbox"/> Underground	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ENTRANCE CABLE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
PANEL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SUB-PANEL <input checked="" type="checkbox"/> Breaker(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BRANCH CIRCUITS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BONDING/GROUNDING	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SMOKE DETECTORS*	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Comments:

Underground 3-phase electrical service is provided by TECO. The meter is located at the rear exterior of the building.

Sub panels are located on the left wall of the garage: Panel A rated at 225 amps, Panel B rated at 225 amps, and Panel C rated at 225 amps. There is no clear working space marked off on the floor in front of and to the side of the panels. Panels were not opened as part of this inspection.

Wiring is enclosed in conduit.

**Smoke Detectors / GFCI's checked with test button only. Monthly Test Recommended.*

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Electrical: Underground service, TECO meter, and electrical disconnect located at left exterior of building.



Electrical: 600 amp disconnect



Electrical: TECO meter.



Electrical: Sub panels located on left wall of garage. No clear workspace marked along the floor in front and adjacent to the panels.

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Electrical: Sub panels located on left wall of garage.



Electrical: Sub panels located on left wall of garage.



Electrical: Panel A



Electrical: Panel A

PLUMBING

Water Service

Water Public

Sewage Service

Sewage Public

		G	F	P	NI	NA
SUPPLY	<input checked="" type="checkbox"/> Copper <input checked="" type="checkbox"/> PEX	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DRAINS	<input checked="" type="checkbox"/> PVC	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
VENTS	<input checked="" type="checkbox"/> PVC	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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Main utility line, septic systems and gray water systems are excluded from this Inspection.



Plumbing: Garage bathroom



Plumbing: Office bathroom

WATER HEATER

G	F	P	NI	NA
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Brand: Rheem

Model: EGSP20

Size: 20 Gallons

Age: 1 Year(s)

Design Life: 10-15 Year(s)

SerialNo: D1119Q221915528A

Electric

Comments:

A 20 gallon electric water heater is located in the loft area above the garage bathroom.

Consideration should be made to add a guardrail to the loft area for maintenance and servicing of the water heater and associated equipment as well as traversing the roof ladder.



Water Heater: Water heater located above the garage bathroom



Water Heater: Water heater located above the garage bathroom

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Water Heater: Water heater located above the garage bathroom



Water Heater: Water heater located above the garage bathroom



Water Heater: Water heater located above the garage bathroom



Water Heater: Water heater located above the garage bathroom



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Water Heater: Data tag



Water Heater: TPC pipe

HEATING

Brand: QMarks

Electric Forced Air Heat Pump

	G	F	P	NI	NA
HEATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

Ceiling-mounted electric unit heaters are located at opposite ends of the garage. Units are QMarks. Limited access.

Heat Exchanger - Unable to detect cracks/holes without dismantling unit.



Heating: Ceiling-mounted electric heater.



Heating: Ceiling-mounted electric heater.

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Heating: Ceiling-mounted electric heater.

DRAFT CONTROL/VENT

G	F	P	NI	NA
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Metal Pipe

Comments:

Due to their location, the vent systems for the ceiling-mounted electric heaters in the garage were not inspected.

HEATING DISTRIBUTION

Ductwork

	G	F	P	NI	NA
DISTRIBUTION	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BLOWER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CONTROLS/THERMOSTAT (CALIBRATIONS/TIMED FUNCTIONS NOT CHECKED.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
CIRCULATOR PUMP	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments:

Electric unit heaters in the garage achieve distribution through direct fan action.

The HVAC system serving the offices achieves distribution through a ductwork system. Limited visibility of ductwork in the attic space.

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HI12972



Southshore/Manatee Property Inspections DBA National Property Inspections

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COOLING

G	F	P	NI	NA
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Brand: Trane	Model: 4TWA4048A3000AB	Size: 4.0 Ton	Age: 1 Year(s)
Design Life: 5-10 Year(s)	SerialNo: 19404X3Y4F		
<input checked="" type="checkbox"/> Electric	<input checked="" type="checkbox"/> Central Air	<input checked="" type="checkbox"/> Heat Pump	

Comments:

The HVAC system was a split system with the condenser located outside.

- Emergency catch pan under unit was full of water. Unit was not draining condensation properly. Water has overflow previously, saturating the floor, and flowing behind the drywall down into and around the supply vent above the office. The picture shows what appears to be microbial growth around the supply vent as well as ceiling stains and sagging. A qualified heating and cooling contractor should evaluate and repair as necessary.



Cooling: Condenser installed on a level pad in like-new condition.



Cooling: Data tag



Cooling: Shut-off



Cooling: Water cannot escape condenser enclosure. Weep holes needed or clogged.

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Cooling: Refrigerant lines appear properly insulated



Cooling: Air handler



Cooling: Data tag



Cooling: Pan filled with water and overflowing in attic

BATHROOM

Monitor Condition

	G	F	P	NI	NA
CEILINGS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
WALL(S)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
FLOOR/FINISH	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
INTERIOR DOORS/HARDWARE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ELECTRICAL (RANDOM SAMPLING OF OUTLETS, SWITCHES, FIXTURES.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GFCI PROTECTION (CHECKED WITH TEST BUTTON ONLY. MONTHLY TEST RECOMMENDED.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SINK/FAUCET	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TOILET	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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TILE WORK/ENCLOSURE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
EXHAUST FAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:
Minor cracking



Bathroom: Office bathroom



Bathroom: Garage bathroom



Bathroom: Minor cracks in office bathroom



Bathroom: Minor cracks in office bathroom

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INTERIOR ROOM

Monitor Condition
 Recommend Repairs

	G	F	P	NI	NA
CEILINGS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
WALLS <input checked="" type="checkbox"/> Typical Crack(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
WINDOWS/TRIM	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
FLOOR/FINISH	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
INTERIOR DOORS/HARDWARE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ELECTRICAL (RANDOM SAMPLING OF OUTLETS, SWITCHES, FIXTURES.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Comments:

Minor cracking along baseboard.

- One fan receptacle in garage has no power so a receptacle below is being used instead. Recommend further evaluation by a certified electrical contractor.



Interior Room: Lobby



Interior Room: Lobby

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Interior Room: Minor cracking in lobby along baseboard



Interior Room: Back room



Interior Room: Break room



Interior Room: Electrical working properly



Interior Room: Electrical working properly



Interior Room: Electrical working properly



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1



Cover photo

2



Drainage

3



Drainage away from structure and lot

4



Drainage away from structure and lot

5



Sewer drain

6



Damaged top

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Damaged top and CMU



Top and front damage



Sewer drain



Damaged CMU



Front strip mall wall



Damage to front wall



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Christian Brothers Automotive Corp, 128 Harbor Village Lane, Apollo Beach, FL, 33572

13



Plumbing vent - missing screen

14



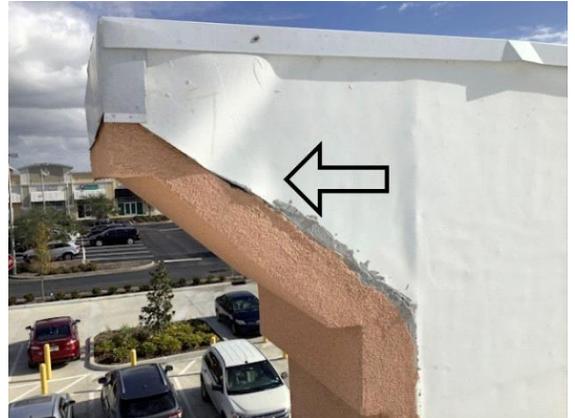
Built-in drainage

15



Built-in drainage

16



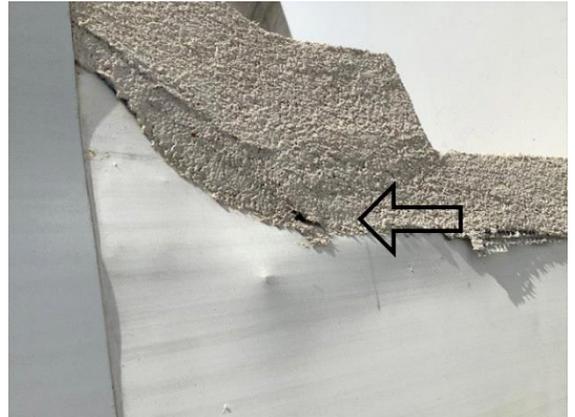
Parapet wall deterioration

17



Parapet wall deterioration

18



Parapet wall deterioration

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19



Parapet wall deterioration

20



Could not walk on metal roof

21



Proper intersection clearance where wall meets roof

22



Loft area where the water heater is installed does not contain a guardrail.



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23



Water heater located above the garage bathroom

24



Typical wall-mounted exterior lighting

25



Typical wall-mounted exterior lighting

26



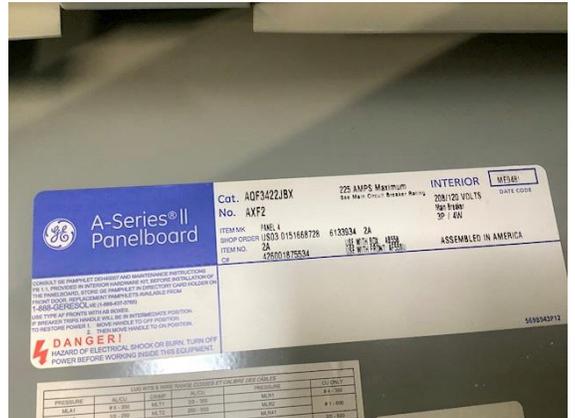
Typical wall-mounted exterior lighting

27



Disregard photo

28



Panel A tag indicating 225 amp rating

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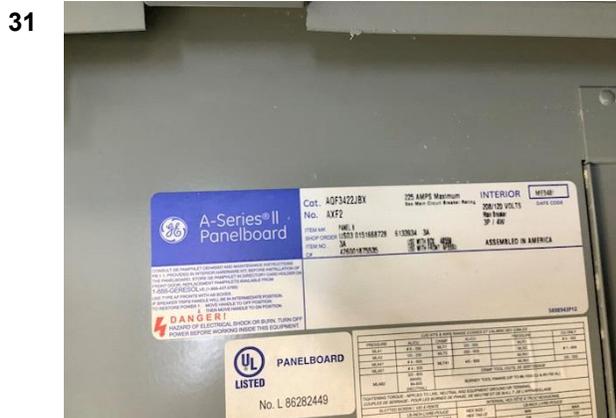
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Panel A legend



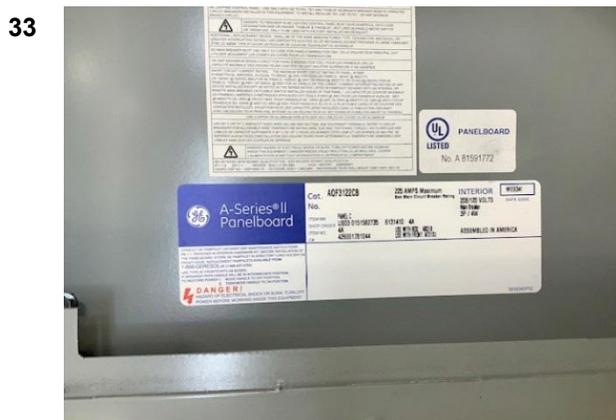
Panel B



Panel B tag indicating 225 amp rating



Panel C



Panel C tag indicating 225 amp rating



Electrical working properly

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35



Electrical working properly

36



Storage room

37



Electrical working properly

38



Garage

39



Electrical working properly

40



Electrical working properly

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41



Electrical working properly

42



Electrical working properly

43



No power

44



No power to receptacle fan so using receptacle below

45



Electrical working properly

46



Electrical working properly

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47



Svc mgr on duty

48



Water stains

49



Water stains

50



Water flowed behind drywall into and around vent

51



Pan filled with water

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52



Water flowed into and around supply vent previously

53



Positive elevated moisture reading

54



What appears to be microbial growth, water stains, and sagging in office ceiling from overfilled air handler pan above