



BALCONY INSPECTION

Street Address
City, FL Zip

Client Name
MARCH 5, 2025



Inspector

Greg Suhre

FL License # HI12972, InterNACHI Certified Professional Inspector (NACHI20040715), Certified Commercial Property Inspector (CCPIA # 002635), Certified Residential Thermographer (CRT-20220610006), Certified Sewer Camera (Scope) Inspector, Certified Indoor Air Quality/Mold Consultant (IAC2-94389), FAA Licensed Drone Pilot (# 4926300), Insured (General Liability and E & O)

941.254.1583

greg.suhre@npiinspect.com

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1: INSPECTION DETAILS

Information

Start Time

945a

Finish Time

11a

Left or Right of Property

When the direction of "Left or Right" is mentioned, it is a description of the area of the property, facing the property from the street looking towards the property, unless otherwise stated.

Inspector Certification



Legislation

In Florida state law, Fla. Stat. § 509.2112 outlines the inspection rules for public lodging establishments three or more stories in height. The statute defines public establishments as:

4(a) "Public lodging establishment" includes a transient public lodging establishment as defined in subparagraph 1. and a nontransient public lodging establishment as defined in subparagraph 2.

1. "Transient public lodging establishment" means any unit, group of units, dwelling, building, or group of buildings within a single complex of buildings which is rented to guests more than three times in a calendar year for periods of less than 30 days or 1 calendar month, whichever is less, or which is advertised or held out to the public as a place regularly rented to guests.

2. "Nontransient public lodging establishment" means any unit, group of units, dwelling, building, or group of buildings within a single complex of buildings which is rented to guests for periods of at least 30 days or 1 calendar month, whichever is less, or which is advertised or held out to the public as a place regularly rented to guests for periods of at least 30 days or 1 calendar month.

Transient lodging refers to properties rented or leased for short-term temporary occupancy, such as hotels, motels, and resorts. Nontransient lodging refers to properties rented or leased with the intention that the unit occupied will be the sole residence of the guest, like apartments and condominiums. Restaurants are required to also meet the balcony inspection requirements under Fla. Stat. § 61-C Public Lodging Establishment, and § 61C-3.001, (5) Balcony Inspection.

The following is the State of Florida balcony inspection statute.

Fla. Stat. § 509.2112. Public lodging establishments three stories or more in height; inspection rules. — The Division of Hotels and Restaurants of the Department of Business and Professional Regulation is directed to provide rules to require that:

1. Every public lodging establishment that is three stories or more in height in the state file a certificate stating that any and all balconies, platforms, stairways, and railways have been inspected by a person competent to conduct such inspections and are safe, secure, and free of defects.

2. The information required under subsection (1) be filed commencing January 1, 1991, and every 3 years thereafter, with the Division of Hotels and Restaurants and the applicable county or municipal authority responsible for building and zoning permits.

3. If a public lodging establishment that is three or more stories in height fails to file the information required in subsection (1), the Division of Hotels and Restaurants shall impose administrative sanctions pursuant to § 509.261.

Structure Details: Age of the Structure

4

Structure Details: Type of Structure

Multi-Story, Rental

Photos: Photos



Elevation



Elevation



Elevation



No storage below stairs



Exterior stairway



Riser height not more than 7"



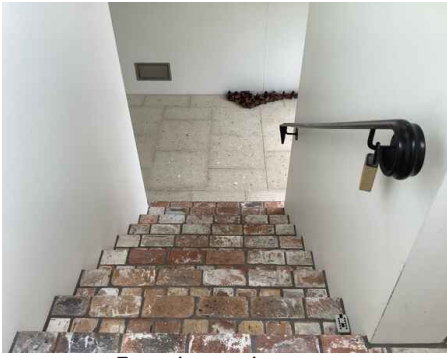
Stairway handrail height is between 34-38"



Stairway handrail has at least 1 1/2" min. clear space



Exterior stairway



Exterior stairway



Exterior stairway



Elevation



Elevation



Exterior stairway



Riser height not more than 7"



Stairway handrail height is between 34-38"



Stairway handrail has at least 1 1/2" min. clear space



Exterior stairway



Exterior stairway



2nd fl balcony



2nd fl balcony



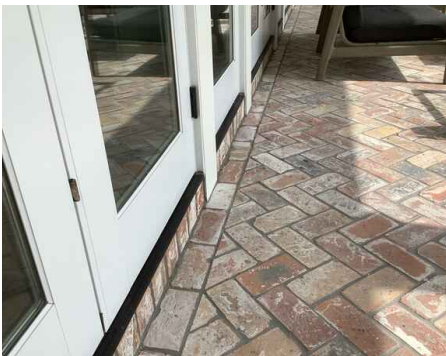
2nd fl balcony



2nd fl balcony



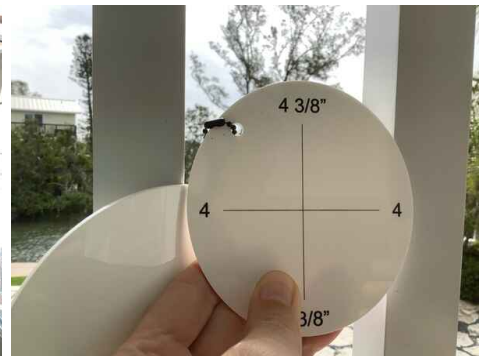
2nd fl balcony



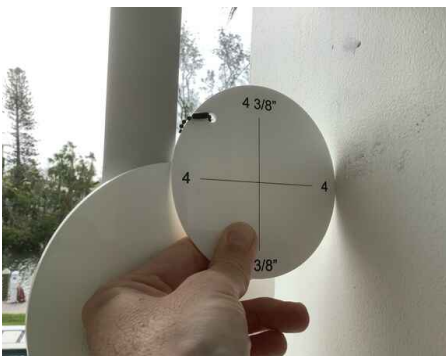
No evidence of water damage between interior and exterior door threshold



No evidence of water damage between interior and exterior door threshold



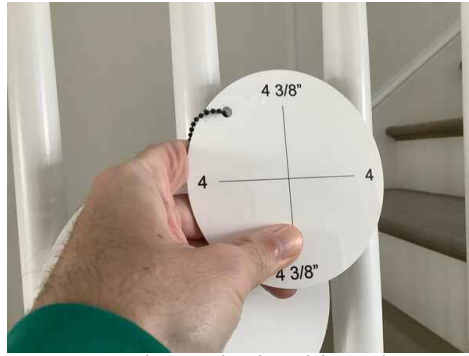
Required guards should not have openings that allow passage of a sphere 4 inches in diameter



Required guards should not have openings that allow passage of a sphere 4 inches in diameter



Interior stairway



Required guards should not have openings that allow passage of a sphere 4 inches in diameter



Guardrail also serves as a handrail, and is at least 34 and 38"



Interior stairway



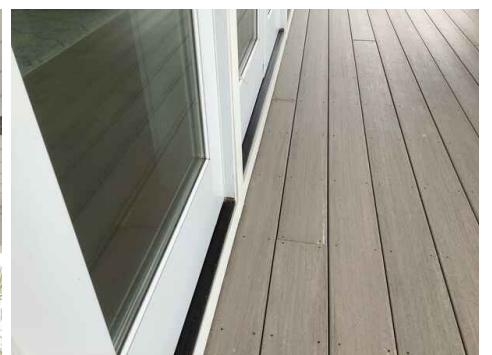
Interior stairway



3rd fl balcony



3rd fl balcony



No evidence of water damage between interior and exterior door threshold



No evidence of water damage between interior and exterior door threshold



Required guards should not have openings that allow passage of a sphere 4 inches in diameter



Stairway tread depth at least 10"



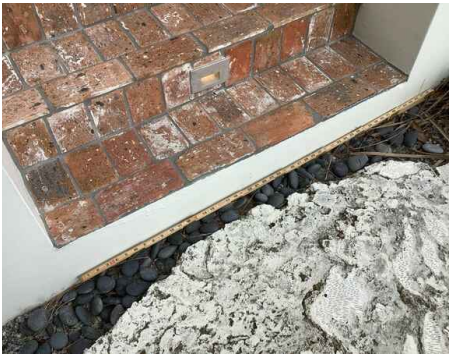
Stairway tread depth at least 10"



Stairway width at least 36"



Stairway width at least 36"



Stairway width at least 36"



Stairway width at least 36"

DBPR HR-7020 – Division of Hotels and Restaurants Certificate of Balcony Inspection

Complete and submit this form if your public lodging establishment is 3 or more stories in height. The inspector must have the education and experience to be competent to perform the inspection. The operator is responsible for verifying the competency of the inspector.

The term “balcony” means “a landing or porch that is accessible to or used by the public...” The balcony inspection must include platforms, stairways, railings and railways, guardrails, balustrades, parapets, and areas enclosed by screening or other non-permanent building material. (Section 509.2112, F.S. and Rule 61C-3.001(5)(a), F.A.C.)

For new or renewal inspections complete sections 1 and 2. For a change of owner attach a copy of previous operator’s valid, date-stamped Certificate of Balcony Inspection and complete Section 3.

For New or Renewal Only		
Section 1 – Establishment Information		
Owner Name	License Number	
Mailing Address		
City	State	Zip Code
Establishment Name (DBA)		
Establishment Address		
City	County	Zip Code
Telephone Number(s):		
For New or Renewal Only		
Section 2 – Inspection		
I hereby certify that any and all balconies, platforms, stairways, railings and railways on the above-described premises were inspected on _____ by a person competent to conduct such inspection, and were found by such person to be safe, secure and free of defects.		
Total Number of Areas Inspected:	Total Number of Defects Found:	Date Repairs Completed:
The Inspection was conducted by _____ who is competent to conduct such inspections because: (Provide facts/credentials establishing competency on the line below.)		
Signature of Inspector	Date	
Name of Operator		
Signature of Operator	Date	
For Change of Owner Only		
Section 3 – Management Information		
Name of Operator	Date	
Signature of Operator		
Note: This Certificate of Balcony Inspection expires three years from the date of inspection listed in Section 2 of this form or from the date of inspection listed in Section 2 of the attached previous owner’s form. A new Certificate of Balcony Inspection must be completed and submitted prior to the expiration date.		

STATE OF FLORIDA, DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 Phone: 850.487.1395 – Web: <http://www2.myfloridalicense.com/contact-us/> & <http://www2.myfloridalicense.com/hotels-restaurants/>

